



VILLAGE OF SODUS POINT BOARD REFERRAL

ZONING DISTRICT: _____ R _____

DATE: 9/27/2023

Please mark all applicable boards for review and approval of application:

_____ ZONING BOARD PLANNING BOARD _____ COUNTY BOARD _____ STATE BOARD

Fee: **Variance** (\$40.00) _____ **Special Permit** (\$50.00) _____ **Subdivision** (\$50.00) _____ **Site Plan** (\$50.00)
(To be paid upon filing this application)

Location _____ 8397 South Shore Rd _____

(Give street number, name)

_____ Richard Ashnault _____

(Name of Applicant)

Tax Map ID: _____ 71118-10-332627 _____

_____ Noah Knatitits _____

(Name of Property Owner)

(Owner fills out to best of ability)

Neighbor to the North:

_____ None _____

Neighbor to the West:

_____ 8395 South Shore Rd _____

Neighbor to the East:

_____ Sodus Bay Heights Golf _____

Neighbor to the South:

_____ 8401 Sill Shore Rd. _____

_____ _____
(Telephone Number of Owner)

_____ _____
(Email Address of Owner)

_____ 1585-764-1429 _____

(Telephone number of Applicant)

Nature of work (check which is applicable):

New Building Addition _____ Alteration _____ Repair _____ Removal _____ Demolition _____ ESTIMATE: TBD

Description of work to be done: _____, to construct a 1778 square foot print 2 story single family structure per plans

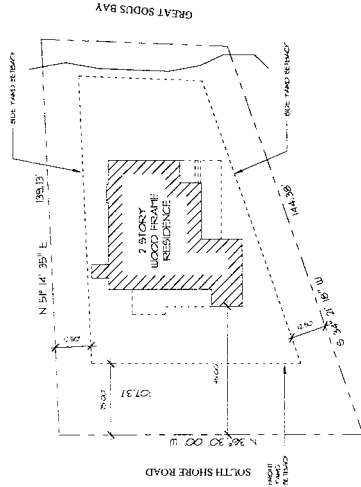
HARDSHIP OR REASON FOR REFERRAL:

190-49. Site plan review - over 10,000

ASHNAULT RESIDENCE

8397 SOUT SHORE ROAD
SODUS POINT, NY 14855

ARCHITECT
PARDI PARTNERSHIP ARCHITECTS P.C.
25 CIRCLE STREET, SUITE 101
ROCHESTER, NEW YORK 14607



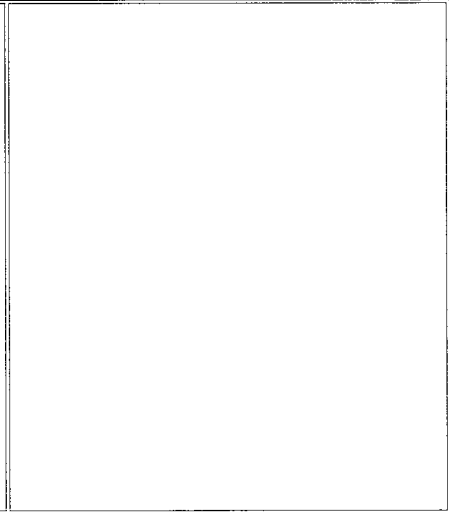
3 SITE PLAN / LOT COVERAGE
SCALE: 1"=20'

ARCHITECTS PROJECT #230033

3D PERSPECTIVE



PROJECT LOCATION



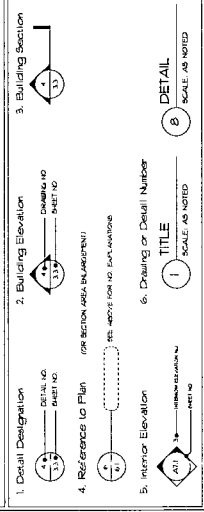
SCHEDULE OF DRAWINGS

SHEET	TITLE	REVISED
1	TITLE SHEET	
2	GENERAL WALL TYPES / NOTES	
ARCHITECTURE		
AC1	FLOOR PLAN	
AC2	FLOOR PLAN	
AC3	ELEVATIONS	
AC4	ELEVATIONS	

ABBREVIATIONS

AC	ARCHITECTURE	GC	GRASS
AD	ADDENDUM	GE	GENERAL
AL	ALUMINUM	GI	GRASS
AN	ANGLER	GL	GLASS
AP	APPROVED	GN	GRASS
AR	ARCHITECTURE	GO	GRASS
AS	ASPHALT	GP	GRASS
AT	ARCHITECTURE	GS	GRASS
AV	AVENUE	GT	GRASS
AW	ARCHITECTURE	GU	GRASS
AX	ARCHITECTURE	GV	GRASS
AY	ARCHITECTURE	GW	GRASS
AZ	ARCHITECTURE	GX	GRASS
BA	BAMBOO	GY	GRASS
BB	BAMBOO	GZ	GRASS
BC	BAMBOO	HA	HARDWARE
BD	BAMBOO	HB	HARDWARE
BE	BAMBOO	HC	HARDWARE
BF	BAMBOO	HD	HARDWARE
BG	BAMBOO	HE	HARDWARE
BH	BAMBOO	HF	HARDWARE
BI	BAMBOO	HG	HARDWARE
BJ	BAMBOO	HH	HARDWARE
BK	BAMBOO	HI	HARDWARE
BL	BAMBOO	HJ	HARDWARE
BM	BAMBOO	HK	HARDWARE
BN	BAMBOO	HL	HARDWARE
BO	BAMBOO	HM	HARDWARE
BP	BAMBOO	HN	HARDWARE
BQ	BAMBOO	HO	HARDWARE
BR	BAMBOO	HP	HARDWARE
BS	BAMBOO	HQ	HARDWARE
BT	BAMBOO	HR	HARDWARE
BU	BAMBOO	HS	HARDWARE
BV	BAMBOO	HT	HARDWARE
BW	BAMBOO	HU	HARDWARE
BX	BAMBOO	HV	HARDWARE
BY	BAMBOO	HW	HARDWARE
BZ	BAMBOO	HX	HARDWARE
CA	CANOPY	HY	HARDWARE
CB	CANOPY	HZ	HARDWARE
CC	CANOPY	IA	INTERIOR ARCHITECTURE
CD	CANOPY	IB	INTERIOR ARCHITECTURE
CE	CANOPY	IC	INTERIOR ARCHITECTURE
CF	CANOPY	ID	INTERIOR ARCHITECTURE
CG	CANOPY	IE	INTERIOR ARCHITECTURE
CH	CANOPY	IF	INTERIOR ARCHITECTURE
CI	CANOPY	IG	INTERIOR ARCHITECTURE
CJ	CANOPY	IH	INTERIOR ARCHITECTURE
CK	CANOPY	II	INTERIOR ARCHITECTURE
CL	CANOPY	IJ	INTERIOR ARCHITECTURE
CM	CANOPY	IK	INTERIOR ARCHITECTURE
CN	CANOPY	IL	INTERIOR ARCHITECTURE
CO	CANOPY	IM	INTERIOR ARCHITECTURE
CP	CANOPY	IN	INTERIOR ARCHITECTURE
CQ	CANOPY	IO	INTERIOR ARCHITECTURE
CR	CANOPY	IP	INTERIOR ARCHITECTURE
CS	CANOPY	IQ	INTERIOR ARCHITECTURE
CT	CANOPY	IR	INTERIOR ARCHITECTURE
CU	CANOPY	IS	INTERIOR ARCHITECTURE
CV	CANOPY	IT	INTERIOR ARCHITECTURE
CW	CANOPY	IU	INTERIOR ARCHITECTURE
CX	CANOPY	IV	INTERIOR ARCHITECTURE
CY	CANOPY	IW	INTERIOR ARCHITECTURE
CZ	CANOPY	IX	INTERIOR ARCHITECTURE
DA	DRAWING	IY	INTERIOR ARCHITECTURE
DB	DRAWING	IZ	INTERIOR ARCHITECTURE
DC	DRAWING	JA	JOB
DD	DRAWING	JB	JOB
DE	DRAWING	JC	JOB
DF	DRAWING	JD	JOB
DG	DRAWING	JE	JOB
DH	DRAWING	JF	JOB
DI	DRAWING	JG	JOB
DJ	DRAWING	JH	JOB
DK	DRAWING	JI	JOB
DL	DRAWING	JJ	JOB
DM	DRAWING	JK	JOB
DN	DRAWING	JL	JOB
DO	DRAWING	JM	JOB
DP	DRAWING	JN	JOB
DQ	DRAWING	JO	JOB
DR	DRAWING	JP	JOB
DS	DRAWING	JQ	JOB
DT	DRAWING	JR	JOB
DU	DRAWING	JS	JOB
DV	DRAWING	JT	JOB
DW	DRAWING	JU	JOB
DX	DRAWING	JV	JOB
DY	DRAWING	JW	JOB
DZ	DRAWING	JX	JOB
EA	ELECTRICAL	JY	JOB
EB	ELECTRICAL	JZ	JOB
EC	ELECTRICAL	KA	KITCHEN
ED	ELECTRICAL	KB	KITCHEN
EE	ELECTRICAL	KC	KITCHEN
EF	ELECTRICAL	KD	KITCHEN
EG	ELECTRICAL	KE	KITCHEN
EH	ELECTRICAL	KF	KITCHEN
EI	ELECTRICAL	KG	KITCHEN
EJ	ELECTRICAL	KH	KITCHEN
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EM	ELECTRICAL	KK	KITCHEN
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EO	ELECTRICAL	KA	KITCHEN
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ET	ELECTRICAL	KB	KITCHEN
EU	ELECTRICAL	KC	KITCHEN
EV	ELECTRICAL	KB	KITCHEN
EW	ELECTRICAL	KC	KITCHEN
EX	ELECTRICAL	KB	KITCHEN
EY	ELECTRICAL	KC	KITCHEN
EZ	ELECTRICAL	KB	KITCHEN

DRAWING REFERENCE



MATERIAL SYMBOLS

Earth	Stud Wall - Existing	Finished Wood
Gravel / Stone	Stud Wall - New	Plywood
Concrete	Batt Blanket Insulation	Exterior Wall Board
Concrete Block	Rigid Insulation	



PARDI
PARTNERSHIP
ARCHITECTS P.C.
25 CIRCLE STREET,
SUITE 101
ROCHESTER, NEW YORK
14607
TEL: (716) 554-4870
office@pardiarchts.com

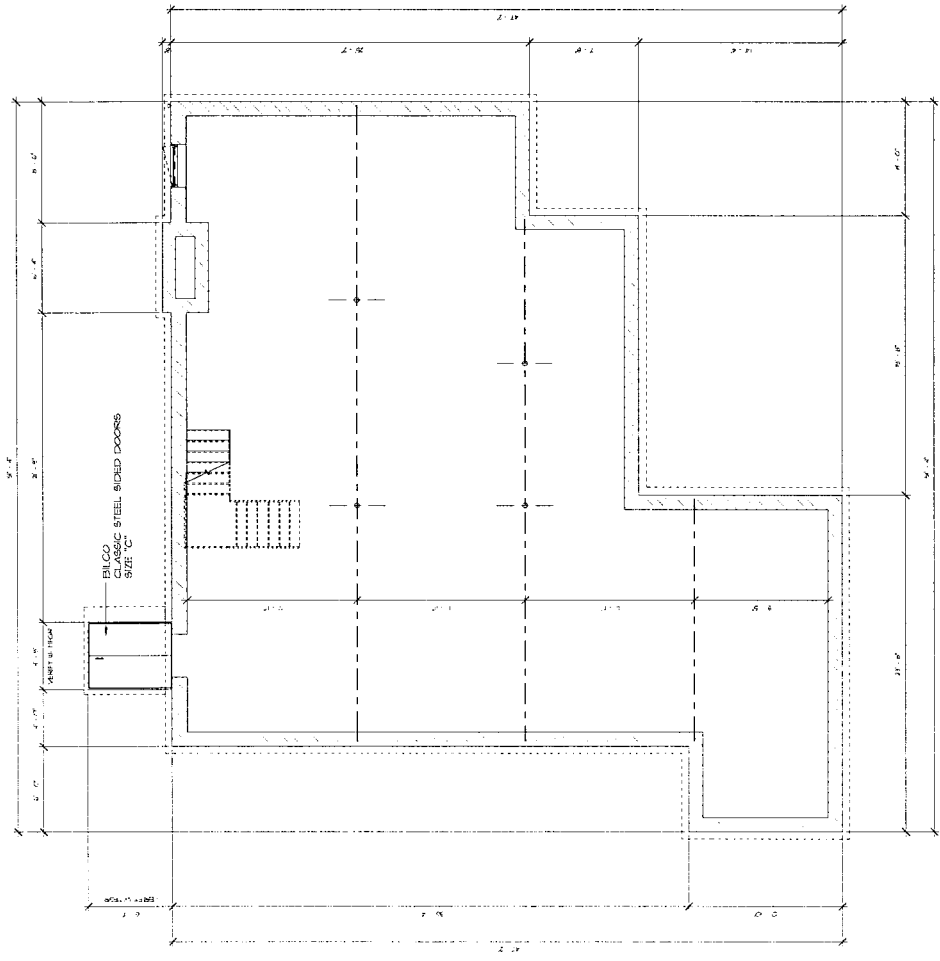
ASHNAULT RESIDENCE
8397 SOUT SHORE ROAD
SODUS POINT, NY 14855

PROJECT NUMBER: 230033
DATE: 11/20/10
SCALE: 1/8"=1'-0"

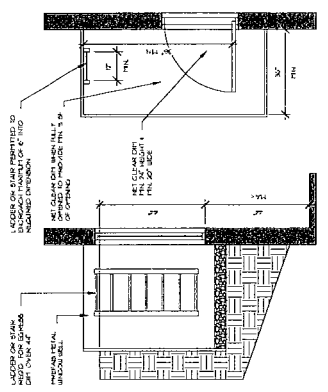
ARCHITECT: PARDI PARTNERSHIP ARCHITECTS P.C.
DRAWN BY: [Name]
DATE: 11/20/10
CHECKED BY: [Name]

DRAWING TITLE
TITLE SHEET

DRAWING NUMBER
G100



1 / LOWER LEVEL
SCALE: 1/4" = 1'-0"



2 / TYPICAL EMERGENCY EGRESS DETAIL
SCALE: 1/4" = 1'-0"

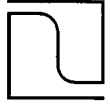
PARDI PARTNERSHIPS ARCHITECTS P.C.
25 SOLE STREET,
ROCHESTER, NEW YORK
14607
TEL: 585.442.8515
OFFICE@PARDIARCH.COM

ASHNALT RESIDENCE
8397 SCOUT SHORE ROAD
SCOUTS POINT, NY 14555

PROJECT NO.	20033
ISSUE DATE	3-14-2013
PL/CD DATE	3/15/2013 P. 3-2/1 A/T
SCALE	N. P. UNLESS NOTED
DESIGN DT.	N/A/T
REVISIONS	

FLOOR PLAN

A100



**PARDI
PARTNERSHIP
ARCHITECTS P.C.**

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TEL: (716) 483-7610
OFFICE@PARDIARCH.COM

PROFESSIONAL ARCHITECTS
NEW YORK STATE LICENSE NO. 12090
ARCHITECTS AT LARGE
MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS
MEMBER OF THE NATIONAL ARCHITECTURAL ASSOCIATION
MEMBER OF THE NATIONAL SOCIETY OF ARCHITECTS
MEMBER OF THE NATIONAL SOCIETY OF INTERIOR DESIGNERS
MEMBER OF THE NATIONAL SOCIETY OF PROFESSIONAL DESIGNERS
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PRELIMINARY
NOT FOR CONSTRUCTION

ASHNALT RESIDENCE

8337 SOUTH SHORE ROAD
SOUTH POINT, NY 14555

PROJECT NO: 200033

ISSUE DATE: 11-18-2023

PLAT DATE: 10-20-2023 P. 6 OF 21

SCALE: AS SHOWN

DRAWN BY: NAME

CHECKED BY: NAME

DATE: NAME

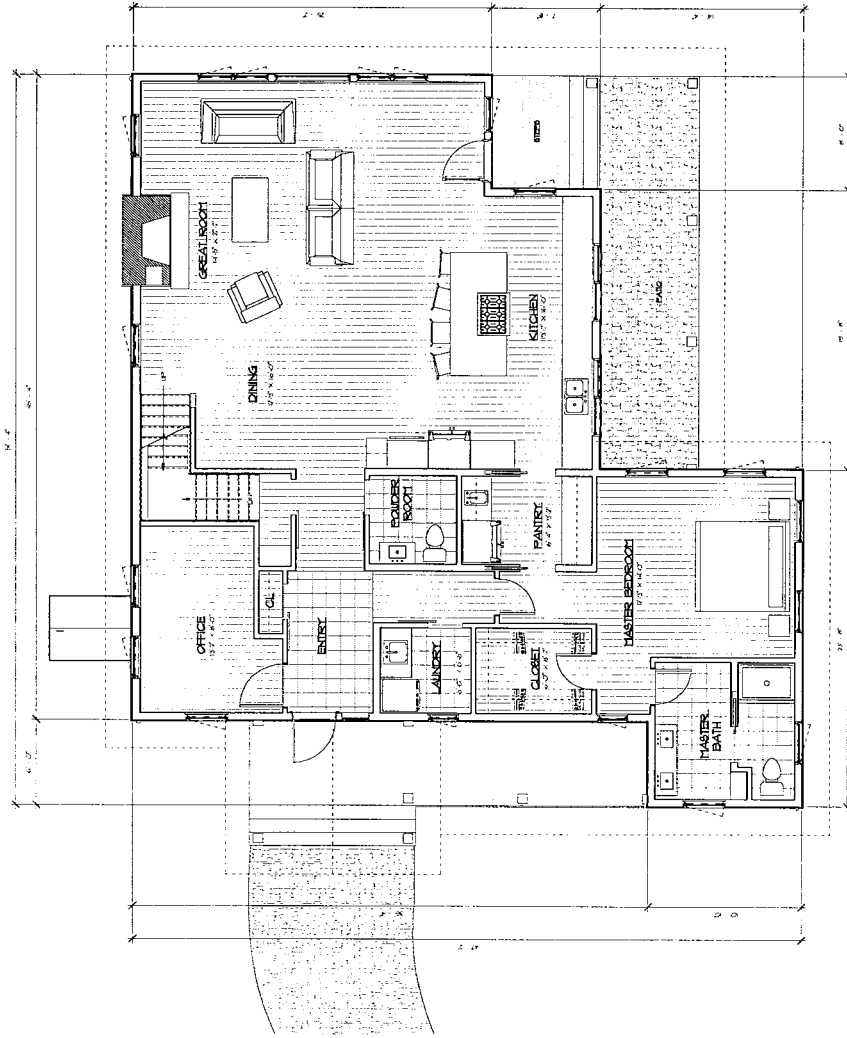
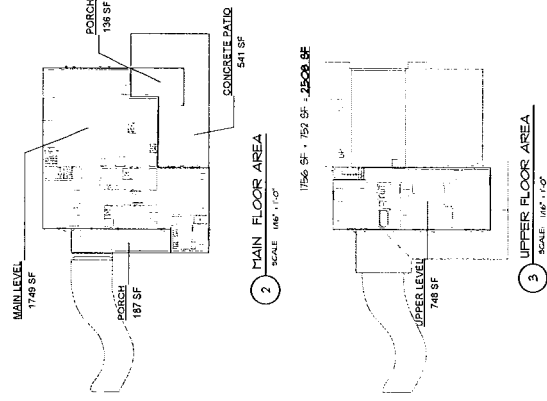
DESCRIPTION

DRAWING TITLE

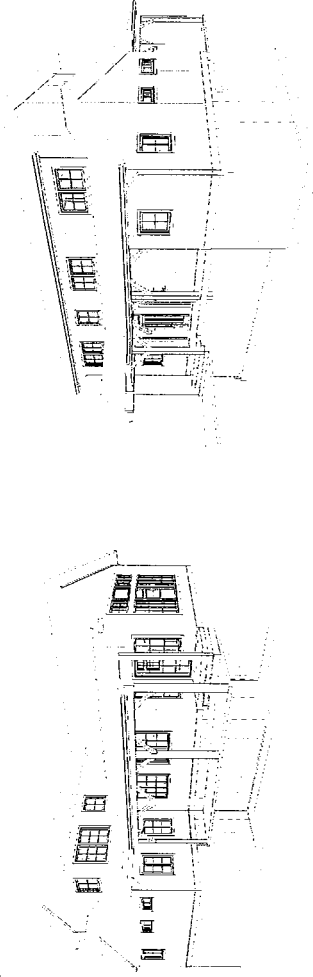
FLOOR PLAN

DRAWN BY: NAME

A101



1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"





PARDI PARTNERSHIP ARCHITECTS P.C.

25 CIRCLE STREET, 14607 ROCHESTER, NEW YORK
TEL: (585) 428-6500
info@pardiarchitects.com

WE warrant that the architectural drawings prepared by us for the project set forth herein shall conform to the applicable provisions of the New York State Uniform Construction Code, and that we shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

THIS DOCUMENT IS THE PROPERTY OF PARDI PARTNERSHIP ARCHITECTS P.C. AND IS NOT TO BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PARDI PARTNERSHIP ARCHITECTS P.C.

PRELIMINARY
NOT FOR CONSTRUCTION

ASHVAULT RESIDENCE
8397 SOUTH SHORE ROAD
SOUTH POINT, NY 14555

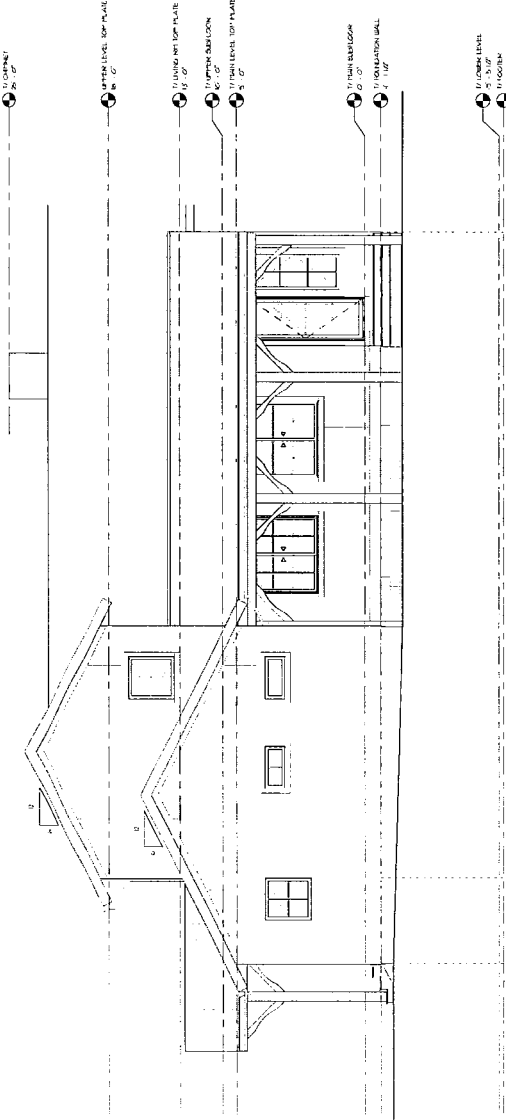
PROJECT NO	200024
DATE	3/16/20
REVISED DATE	3/16/20
SCALE	1/4" = 1'-0"
DRAWN BY	NAVE

NO. DRAWING	TITLE

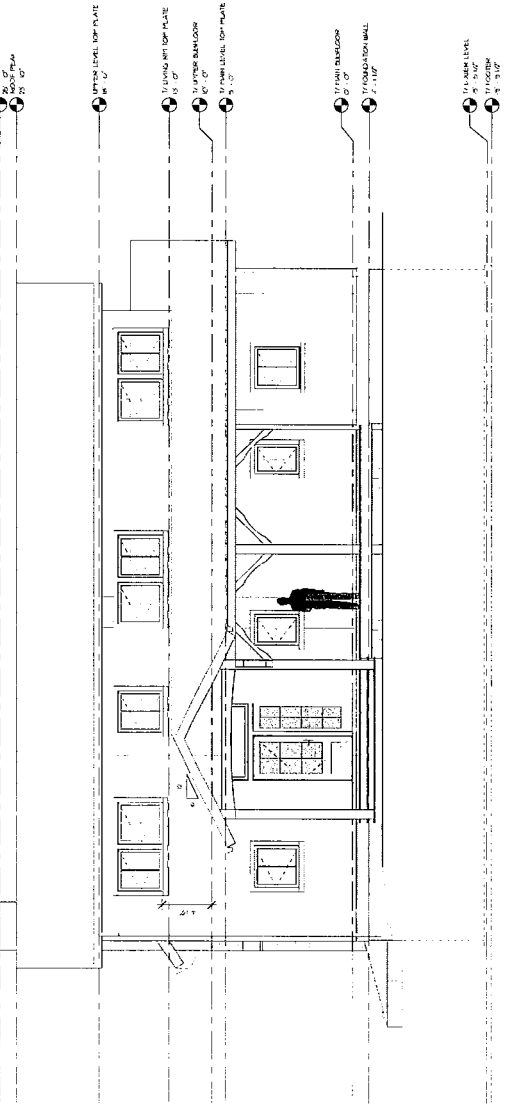
ELEVATIONS

DRAWING NUMBER

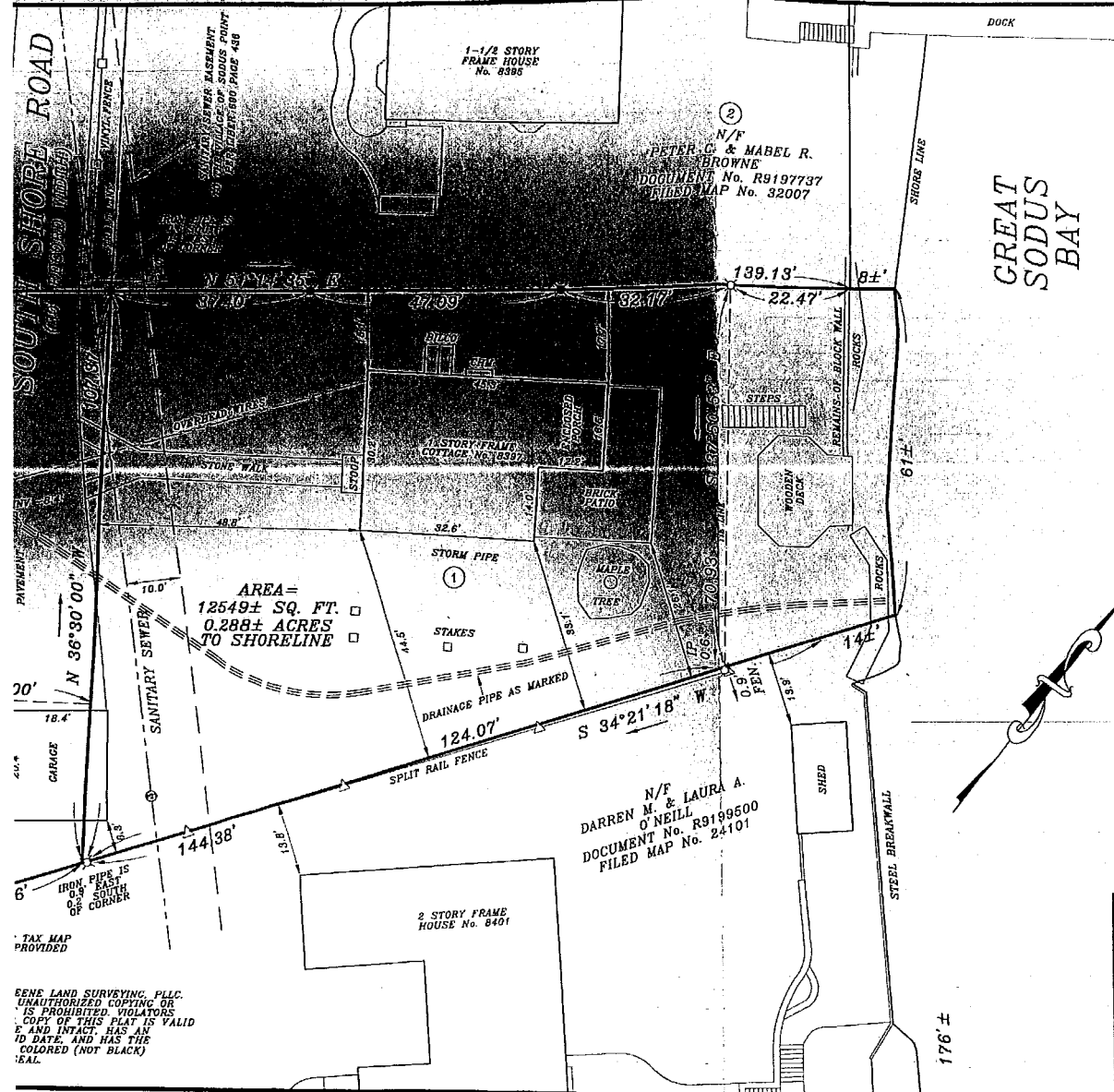
A200



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

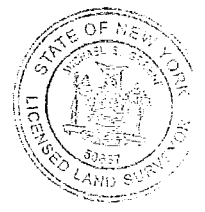


LEGEND:
 X Pl
 * Pl
 S U1
 □ WC

REFERENCES:
 DEED: WALLACE F. ASHNAULT TO RIC ASHNAULT AND KAREN ASHNAULT, DATED MAY 22, 2014, DOCUMENT No. R9162983
 DEED: WALLACE F. ASHNAULT TO RIC ASHNAULT AND KAREN ASHNAULT, DATED DECEMBER 31, 2013, DOCUMENT No. R9159532
 MAP: FILED MAP No. 260
 TAX ACCOUNT No. 71118-10-332627
 NOTE: NO ABSTRACT OF TITLE PROVIDED. SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED TITLE MAY SHOW.

CERTIFICATE:
 THIS IS TO CERTIFY THAT THIS SURVEY WAS COMPLETED BY GREENE LAND SURVEYING, PLLC, ON JULY 12, 2021 FROM THE INSTRUMENT SURVEY COMPLETED IN ON JUNE 29, 2021 AND FROM THE MATERIAL SHOWN HEREBY.

1) RICHARD ASHNAULT & KAREN ASHNAULT
 SIGNED: *[Signature]*
 MICHAEL S. GREENE L.S. 1



PLAN OF LAND	
OWNED BY	
RICHARD & KAREN ASHNAULT	
DATE BY	8/3/21
BY	RT
CHECKED BY	TV
SCALE	1" = 20'
DATE	4/19/22
DATE	8/28/22
GREENE LAND SURVEYING, PLLC	

GREENE LAND SURVEYING, PLLC.
 UNAUTHORIZED COPYING OR
 IS PROHIBITED VIOLATORS
 COPY OF THIS PLAN IS VALID
 AND INTACT, HAS AN
 DATE, AND HAS THE
 COLORED (NOT BLACK)
 SEAL.

TAX MAP PROVIDED

(60)

12869
11584

132.07

2
324634

131.97

139.13
147.13

61

1
332627

107.37

158.38

1-6

441

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274.9
274.92

175.7

26.21

351603

~~17.25~~

179.14

276.8

3595

30