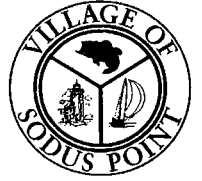


VILLAGE OF SODUS POINT BOARD REFERRAL



ZONING DISTRICT: _____ WC _____

DATE: ___ 9_27_2023 _____

Please mark all applicable boards for review and approval of application:

ZONING BOARD PLANNING BOARD _____ COUNTY BOARD _____ STATE BOARD

Fee: **Variance** (\$0.00) _____ **Special Use Permit** (\$50.00) _____ **Subdivision** (\$50.00) _____ **Site Plan** (\$50.00)
(To be paid upon filing this application)

Location _____ 8506 Greig Street _____

(Give street number, name)

_____ Bob Straubing _____

(Name of Applicant)

Tax Map ID: _____ 71119-18-460158 _____

_____ Bob Straubing _____

(Name of Property Owner)

(Owner fills out to best of ability)

Neighbor to the North:

_____ 8505 Greig _____

Neighbor to the West:

_____ 8500 Greig. _____

Neighbor to the East:

_____ 8510 Greig St. _____

Neighbor to the South:

_____ 8504 Greig St. _____

_____ _____
(Telephone Number of Owner)

_____ _____
(Email Address of Owner)

_____ 585-303-4802 _____

(Telephone number of Applicant)

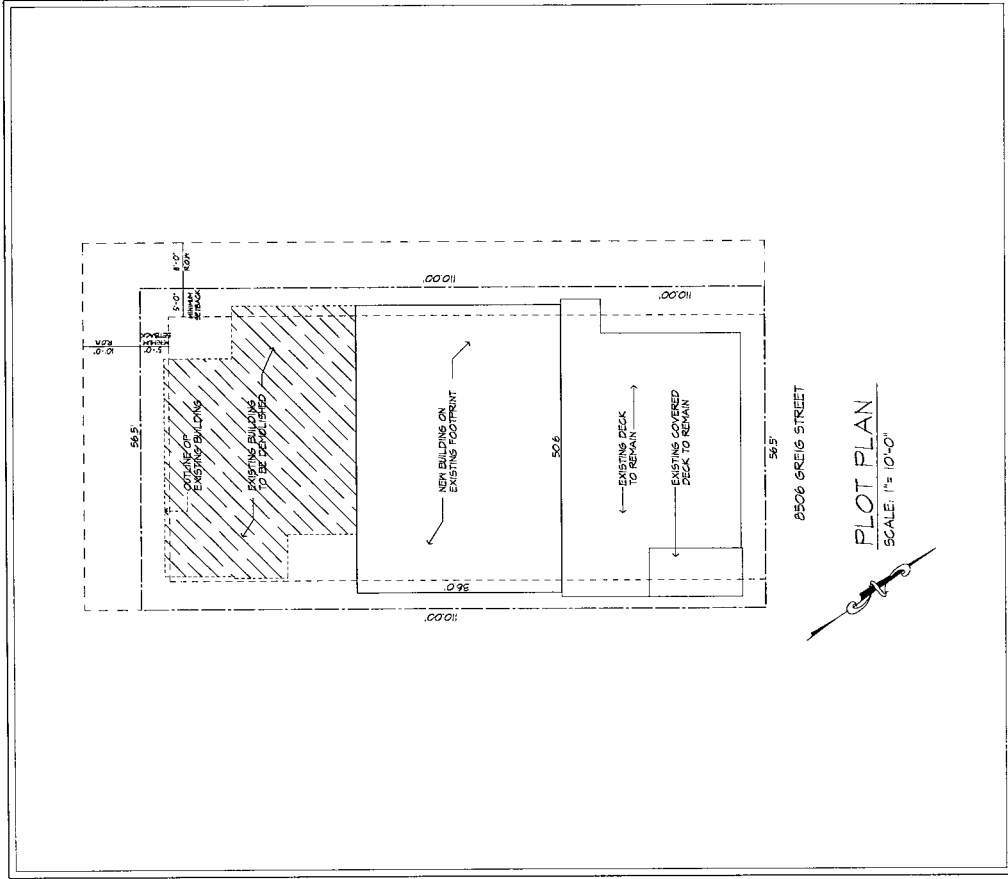
Nature of work (check which is applicable):

New Building _____ Addition _____ Alteration Repair _____ Removal _____ Demolition _____ ESTIMATE: _____ TBD _____

Description of work to be done: ___ Constructing a 50 x36' commercial building on existing foot print will return at later date with more information for final use once final liquor license is determined.

HARDSHIP OR REASON FOR REFERRAL:

190-18, 190-23, 190-26
190-49 Site Plan Review



Beer Garden Pub
8506 GREIG ST. SODUS, NY
BOB STRAUBING

GENERAL NOTES:

1. THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE AND BELIEF. THEY DO NOT CONSTITUTE A GUARANTEE OR WARRANTY OF ANY KIND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE SERVICES OF ALL OTHER CONSULTANTS AS NECESSARY TO COMPLETE THE PROJECT.
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DRAWING INDEX	TITLE PAGE
1	ELEVATIONS
2	FOUNDATION PLAN
3	PLAN VIEW
4	ROOF PLAN / BUILDING SECTION
5	

2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

1. SHALL BE COMPLETED IN ACCORDANCE WITH THE FOLLOWING:
 - A. THE BUILDING SHALL BE DESIGNED TO MEET THE ENERGY REQUIREMENTS OF THE IECC, AND THE ENERGY REQUIREMENTS SHALL BE VERIFIED BY MEANS OF AN ENERGY MODELING SOFTWARE PROGRAM.
 - B. THE ENERGY MODELING SOFTWARE PROGRAM SHALL BE CALIBRATED AND VERIFIED IN ACCORDANCE WITH THE IECC.
 - C. THE ENERGY MODELING SOFTWARE PROGRAM SHALL BE USED TO DETERMINE THE ENERGY REQUIREMENTS FOR THE BUILDING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE SERVICES OF ALL OTHER CONSULTANTS AS NECESSARY TO COMPLETE THE PROJECT.
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BASIC DESIGN CRITERIA

1. MINIMUM WIND SPEED - 60 MPH (ASCE 7-10)
2. MINIMUM SNOW LOAD - 30 PSF (ASCE 7-10)
3. MINIMUM FLOOR LIVE LOAD - 40 PSF (ASCE 7-10)
4. MINIMUM DEAD LOAD - 10 PSF (ASCE 7-10)
5. MINIMUM WIND UPPERCURTAIN PRESSURE - 0.5 PSF (ASCE 7-10)
6. MINIMUM WIND LOWER CURTAIN PRESSURE - 0.5 PSF (ASCE 7-10)
7. MINIMUM WIND EXTERIOR PRESSURE - 0.5 PSF (ASCE 7-10)
8. MINIMUM WIND INTERIOR PRESSURE - 0.5 PSF (ASCE 7-10)
9. MINIMUM WIND ROOF PRESSURE - 0.5 PSF (ASCE 7-10)
10. MINIMUM WIND ROOF UPPERCURTAIN PRESSURE - 0.5 PSF (ASCE 7-10)
11. MINIMUM WIND ROOF LOWER CURTAIN PRESSURE - 0.5 PSF (ASCE 7-10)
12. MINIMUM WIND ROOF INTERIOR PRESSURE - 0.5 PSF (ASCE 7-10)



MORABITO ARCHITECTS
 121 Sully's Trail
 Plisford, NY 14534
 (855) 264-3390
 (855) 264-1553 Fax
 www.morabitoarchitects.com

NOTICE:
 I, the undersigned, certify that I am the owner, architect or contractor for the project described herein. I am not acting as an agent for any other party. I have read the above information and understand that it is my responsibility to provide the information and to ensure that the information is true and accurate. I understand that the information provided here is for informational purposes only and is not intended to constitute an offer of any financial product or service. I understand that the information provided here is for informational purposes only and is not intended to constitute an offer of any financial product or service. I understand that the information provided here is for informational purposes only and is not intended to constitute an offer of any financial product or service.

PROJECT:	BEER GARDEN PUB 8506 GREIG STREET SODUS, NY
CLIENT:	BOB STRAUBING
DATE:	SEPTEMBER 2020
SHEET:	14 OF 15
DRAWN BY:	
SCALE:	
TITLE:	
DRAWN:	
DATE:	
SHEET:	
DRAWN BY:	
SCALE:	
TITLE:	
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SHEET:	



1
 OF 5 SHEETS



MORABITO ARCHITECTS

121 Sully's Trail
Pleasanton, NY 14534

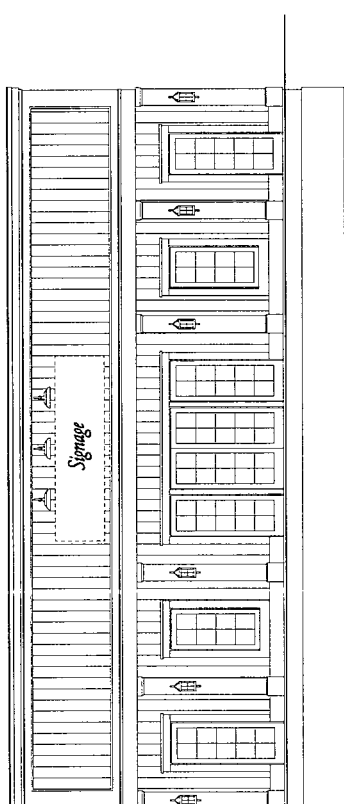
(885) 264-1330

(885) 264-1333 Fax

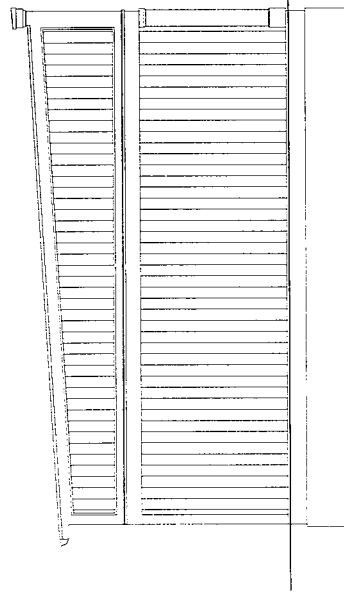
www.MorabitoArchitects.com

NOTICE:

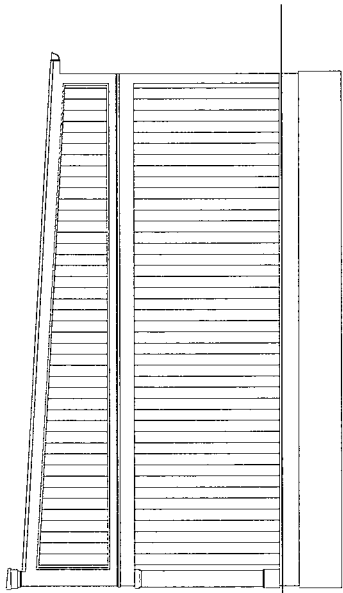
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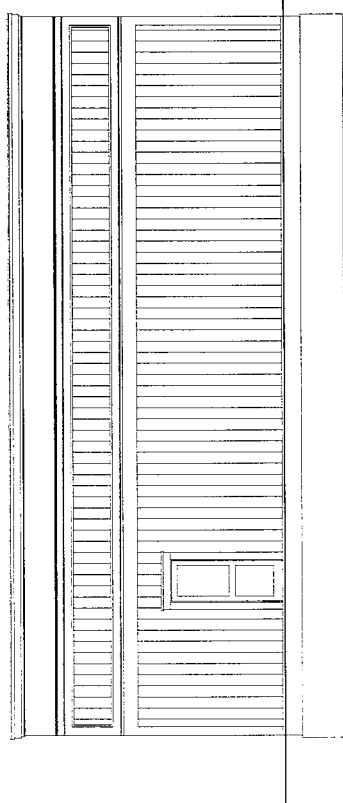
FRONT ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



PROJECT:	STORAGE BUILDING AND SIGNAGE
CLIENT:	BOB STROUBING
DATE:	SEPTEMBER 2020
SHEET:	14" x 10"
SHEET:	

NOTICE:
 IT IS HEREBY ADVISED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO OBTAINING PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO OBTAINING PERMITS AND APPROVALS.

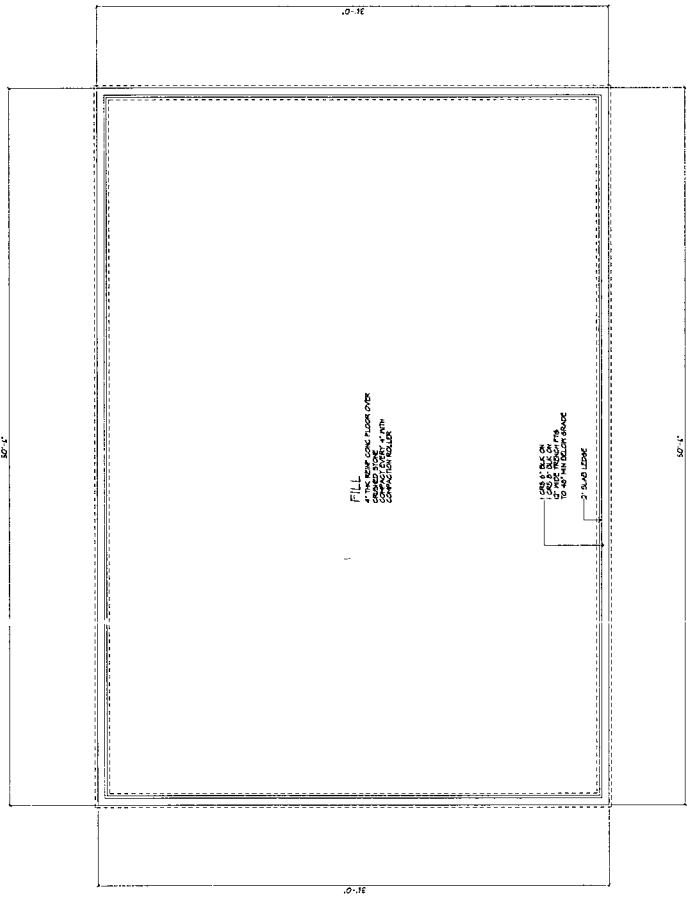
PROJECT: 2024-001
 2024-001-01
 2024-001-01-01

CLIENT: 2024-001-01-01-01

DESIGNER: 2024-001-01-01-01

DATE: 2024-001-01-01-01

SCALE: 1/4" = 1'-0"
 SHEET: 3
 OF 5 SHEETS



FOUNDATION PLAN



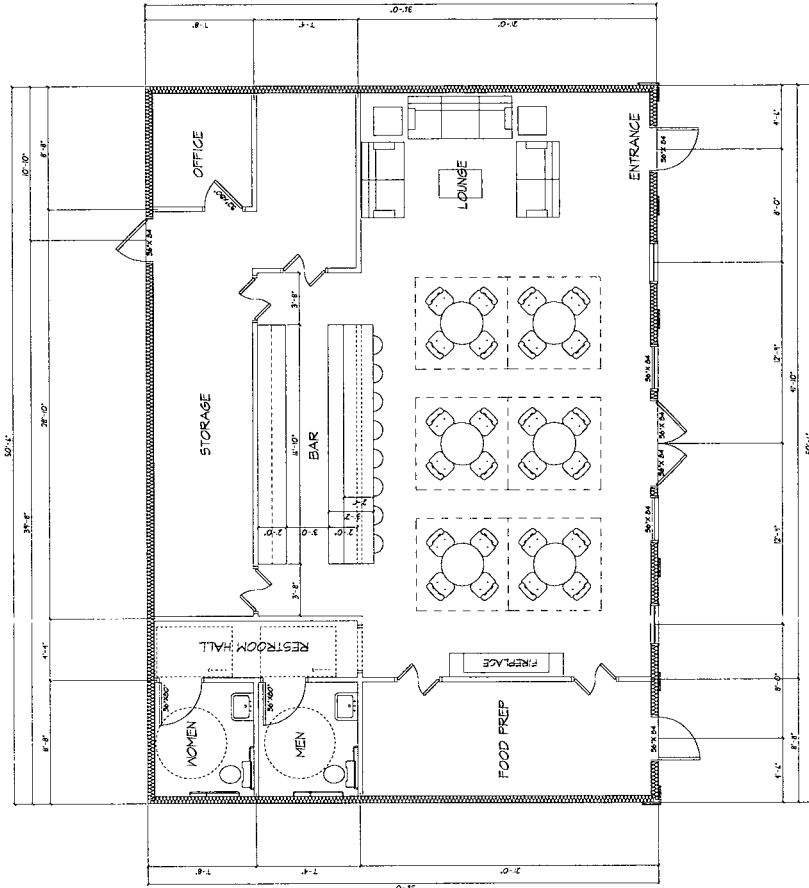
MORABITO ARCHITECTS

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Pittsford, NY 14534

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(585) 264-1333 Fax
www.MorabitoArchitects.com

NOTICE:
I, A. MORABITO, ARCHITECT, AM A LICENSED ARCHITECT IN THE STATE OF NEW YORK. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. ANY REUSE OF THIS DOCUMENT IS STRICTLY PROHIBITED. ANY REUSE OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF MORABITO ARCHITECTS IS STRICTLY PROHIBITED. ANY REUSE OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF MORABITO ARCHITECTS IS STRICTLY PROHIBITED. ANY REUSE OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF MORABITO ARCHITECTS IS STRICTLY PROHIBITED.

PROJECT: **NEW LANDSCAPE FOR 3000 SQ FT**
CLIENT: **3000 SQ FT**
DATE: **03/20/2023**
DRAWING: **PLAN VIEW**
SCALE: **1/4" = 1'-0"**
SHEET: **4**
OF **5** SHEETS

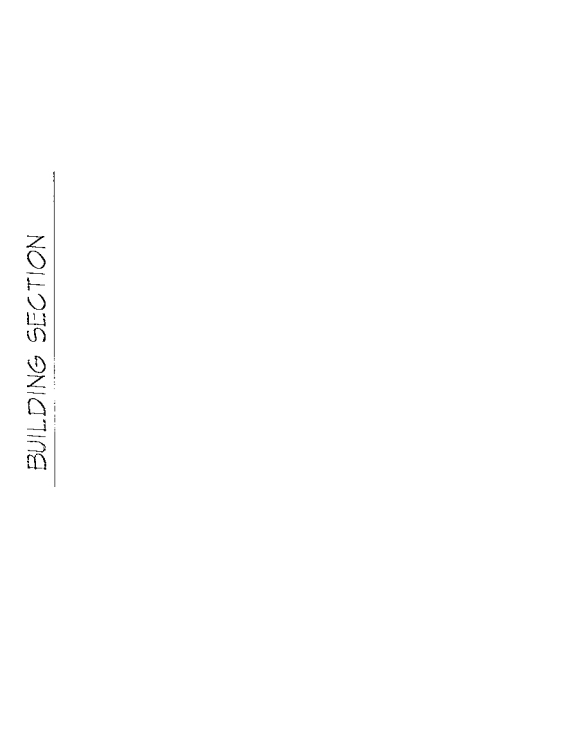
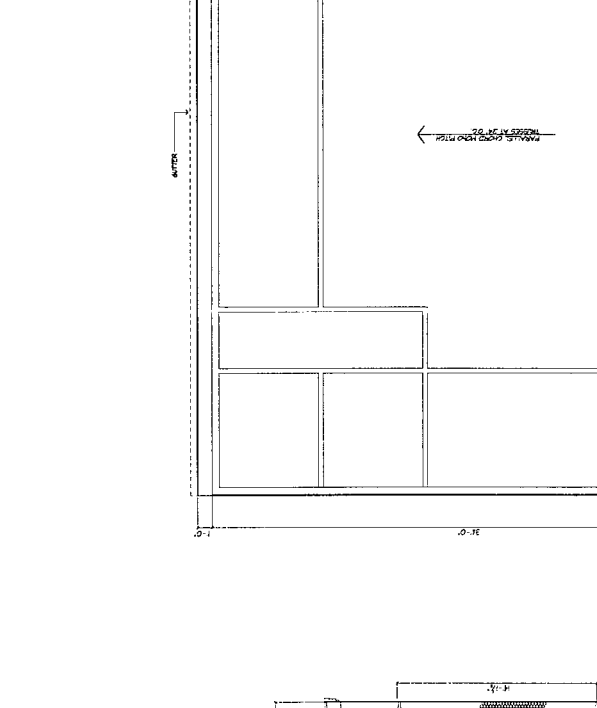


FLOOR PLAN
AREA: 1818 SQ FT

NOTICE:
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETY BONDING.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TESTING AND INSPECTION SERVICES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUBMITTALS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING AND SEQUENCING.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COMMUNICATIONS AND REPORTING.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AS-BUILT DRAWINGS.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL DRAWINGS.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CLOSE-OUT DOCUMENTATION.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT COMPLETION REPORTING.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT EVALUATION REPORTING.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT REVIEW REPORTING.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT AUDIT REPORTING.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT COMPLIANCE REPORTING.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT PERFORMANCE REPORTING.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT IMPROVEMENT REPORTING.
 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT INNOVATION REPORTING.
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 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT SOCIAL RESPONSIBILITY REPORTING.
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 26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT QUALITY MANAGEMENT REPORTING.
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 30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT HEALTH AND SAFETY MANAGEMENT REPORTING.
 31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT LEGAL AND ETHICAL MANAGEMENT REPORTING.
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 50. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROJECT OPERATIONAL EXPERIENCE MANAGEMENT REPORTING.

PROJECT:	124 SULLY'S TRAIL
CLIENT:	124 SULLY'S TRAIL
DATE:	08/15/2023
SCALE:	1/4" = 1'-0"
SHEET:	5

ROOF PLAN
 OVER ROOMS



BUILDING SECTION

ROOF PLAN
 OVER ROOMS

SODUS POINT PARK
07A(C)
14174

