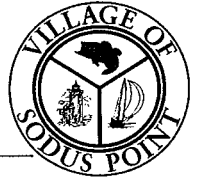


# VILLAGE OF SODUS POINT BOARD REFERRAL



ZONING DISTRICT: \_\_\_\_\_ R \_\_\_\_\_

DATE: \_\_\_\_\_ 8/28/2018 \_\_\_\_\_

Please mark all applicable boards for review and approval of application:

\_\_\_\_\_ ZONING BOARD  PLANNING BOARD \_\_\_\_\_ COUNTY BOARD \_\_\_\_\_ STATE BOARD

Fee: **Variance** (\$40.00) \_\_\_\_\_ **Special Permit** (\$50.00) \_\_\_\_\_ **Subdivision** (\$50.00) \_\_\_\_\_ **Site Plan** (\$50.00)   
(To be paid upon filing this application)

Location \_\_\_\_\_ 8141 Lake Rd \_\_\_\_\_

(Give street number, name)

\_\_\_\_\_ Joseph Capezuto \_\_\_\_\_

(Name of Applicant)

Tax Map ID: \_\_\_\_\_ 71119-17-010214 \_\_\_\_\_

\_\_\_\_\_ Same \_\_\_\_\_

(Name of Property Owner)

**(Owner fills out to best of ability)**

Neighbor to the North:

\_\_\_\_\_ None \_\_\_\_\_

Neighbor to the West:

\_\_\_\_\_ Village of Sodus Point Water \_\_\_\_\_

Neighbor to the East:

\_\_\_\_\_ 8190 Lake Rd. \_\_\_\_\_

Neighbor to the South:

\_\_\_\_\_ Village of Sodus Point Sewer. \_\_\_\_\_

\_\_\_\_\_ 585-269-9777 \_\_\_\_\_

(Telephone Number of Owner)

\_\_\_\_\_

(Email Address of Owner)

\_\_\_\_\_

(Telephone number of Applicant)

Nature of work (check which is applicable):

New Building  Addition \_\_\_\_\_ Alteration \_\_\_\_\_ Repair \_\_\_\_\_ Removal \_\_\_\_\_ Demolition \_\_\_\_\_ ESTIMATE: \_\_\_\_\_ TBD \_\_\_\_\_

Description of work to be done: \_\_\_\_\_ Rebuild new home roughly 100 feet from current bank as per

plans. \_\_\_\_\_

**HARDSHIP OR REASON FOR REFERRAL:**

190-49. Site Plan Review.

## GENERAL NOTES

- Construction shall conform to the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Code.
- All work shall conform with all Local City / Town Zoning Ordinances. Contractor shall be responsible for obtaining all required permits.
- All Exterior and Interior Finish Material selections shall be made by the Owner and Contractor, unless otherwise specified.
- Check and verify all dimensions in the field. Do not make any dimensions in the field without the approval of the Architect. Contact the Architect for information. All materials, products and finishes shall be installed in accordance with the manufacturers printed recommendations.
- This plan has been reviewed for Structural design and is not valid for permit without original "wet seal" placed in the title block area.
- Bearing capacity of soil is assumed to be 3000 PSF. Actual soil capacity of the soil shall be verified at the site by a geotechnical engineer.
- Foundation design and construction shall conform to the National Foundation Engineering and Construction Council (NFCEC) and ACI 318-99 and ACI 301-99.
- Concrete strength at 28 days: Footings: 3,000 PSI  
All other: 2,500 PSI

- General Contractor is to set all grades. Layout of building on the Site to be coordinated between the Architect and the General Contractor.
- All concrete slab on grade areas, Contractor shall strip and stockpile all excess and unsuitable material. Subgrade to be proofrolled prior to placement and compaction of finished stone base.
- Bent pockets are to be grouted solid with 3,000 PSI concrete.
- Structural steel shall conform to 1989 American Institute of Steel Construction (AISC) Specification for Structural Steel Buildings.
- Standard Practice: Structural steel to be ASTM A36. Steel pipe to be ASTM A301 or ASTM A53.
- Anchor bolts shall be ASTM A307 or ASTM A36.
- Wood construction shall conform to the National Forest Products Association's (NFPA) National Design Specification. Structural lumber shall be No. 2 Hem - Fir or better. Fb. = 850 psi [BASE] E = 1,300,000 PSI

- POSTS AND TIMBERS:**
- STEM/FIR SELECT STR**
- Fb = 2,000 psi
- E = 1,300,000 psi
- PARALLEL STRAND LUMBER (PSL):**
- Fb = 2,600 psi
- E = 2,510 psi
- Fv = 290 psi
- E = 2,000 ksi

- Openings in exterior or interior bearing walls shall be as indicated on the drawings. In absence of header/rotation, provide as follows: Up to 5'-0" [3] 2x10  
Up to 6'-6" [3] 2x10  
Beyond 8'-0", consult with the Architect in cases where header size is not indicated.

- Floors shall be designed for the following loads:  
Live Load - Living Areas: 40 PSF  
Live Load - Sleeping Areas: 30 PSF  
Dead Loads:  
Floor: 7 PSF  
Ceiling: 3 PSF  
Mechanical: 2 PSF  
Total Design Load: 15 PSF

- Roof rafters / trusses shall be designed for the following loads:  
Live loads: 40 PSF  
Dead loads: 20 PSF  
Total Design Load: 60 PSF

- Note: Shop drawings for all roof trusses shall be submitted, prepared and sealed by a Professional Engineer licensed in the State of New York to the Architect for review prior to beginning fabrication.

- Plywood roof and wall sheathing shall be exterior grade, APA rated. Wood in contact with masonry, concrete or earth shall be pressure preservative treated.
- Framing anchors, joist hangers and miscellaneous connecting devices for wood framing shall be galvanized steel of at least 1/4" gauge thickness. Install in strict accordance with manufacturers instructions.
- Double all joints under parallel walls, plumbing fixtures, and at floor openings. Provide bridging at all framing midspans beyond 8'-0". Wood plates shall be secured to top flanges of steel beams at 4'-0" on center.
- Roofing shall be 25 yr. min. Fiberglass shingles and roofing underlayment installed in accordance with manufacturers printed requirements for installation. Roof venting shall equal 1 SF Net / 300 SF Attic Space.

- Design of Plumbing, Mechanical and Electrical systems is by others.
- Window unit manufacturer I.B.D. Verify with Owner and Contractor that window unit (return air) and manufacturer prior to ordering. G.C. shall verify with owner all window unit selections and final locations.
- Smoke Detector & Carbon Monoxide Detectors shall be provided at all living and sleeping areas per N.Y.S. Code requirements.

# Capezzuto Residence

## Sodus, New York

### BUILDING CODE INFO

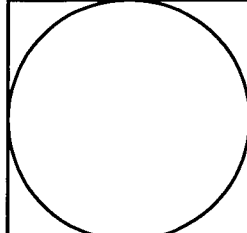
**STANDARDS:**  
RESIDENTIAL CODE OF NEW YORK STATE - VERSION 2016  
N.Y.S. E.C.C.C. - VERSION 2016  
**CLASSIFICATION BY CONSTRUCTION TYPE:**  
VB CONSTRUCTION

### NOTES:

- THE CONTRACTOR SHALL CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND NOTIFY THE PROJECT ARCHITECT OF ANY INCONSISTENCIES OR INADEQUATE DESCRIPTIONS OF WORK PRIOR TO THE SUBMITTAL OF BIDS.
- ALL WORK OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE STATE ENERGY CONSERVATION CODE, AND ALL OTHER APPLICABLE STATE AND FEDERAL CODES AND REGULATIONS.
- CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO LAYING OUT NEW WORK.
- NOTIFY PROJECT ARCHITECT IMMEDIATELY IF EXISTING CONDITIONS, DIMENSIONS, ETC., VARY FROM THOSE SHOWN ON THE DRAWINGS.
- MATERIALS, DETAILS, AND WORK PRACTICES INDICATED ON ONE PORTION OF CONTRACT DOCUMENTS SHALL BE OF THE SAME NATURE AT SAME OR SIMILAR SITUATIONS SHOWN ON THE DRAWINGS, EXCEPT AS OTHERWISE NOTED.
- REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER WASTE MATERIALS RESULTING FROM WORK OF THIS PROJECT.
- PROVIDE ALL BLOCKING, FURRING, AND SHIPPING NECESSARY FOR INSTALLATION AND COMPLETION OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ARCHITECT, PRIOR TO THE SUBMISSION OF BID, OF ANY ITEMS OR QUANTITY OF ITEMS NOT SPECIFIED OR REFERENCED ON THE DRAWINGS BUT REQUIRED FOR THE COMPLETION OF THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM PROVIDING ALL WORK AS REQUIRED TO COMPLETE PROJECT REQUIREMENTS.
- PROTECTION OF THE INTEGRITY OF THE STRUCTURE DURING TRANSPORTATION SHALL BE THE RESPONSIBILITY OF THE END USER WHO IS RESPONSIBLE TO ENGAGE A CERTIFIED CONTRACTOR WITH EXPERIENCE IN SIMILAR PROJECTS.
- CONSTRUCTION OF FOUNDATIONS SHALL BE THE RESPONSIBILITY OF THE OWNER.
- OWNER IS RESPONSIBLE OF OBTAINING APPROPRIATE PERMITS WITH THE JURISDICTION.

### DRAWING INDEX

- C1 COVER SHEET
- A1 FOUNDATION PLAN
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 ROOF PLAN
- A5 EXTERIOR ELEVATIONS
- A6 SECTIONS & DETAILS
- A7 SECTIONS & DETAILS



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SODUS, NEW YORK

REVISED:

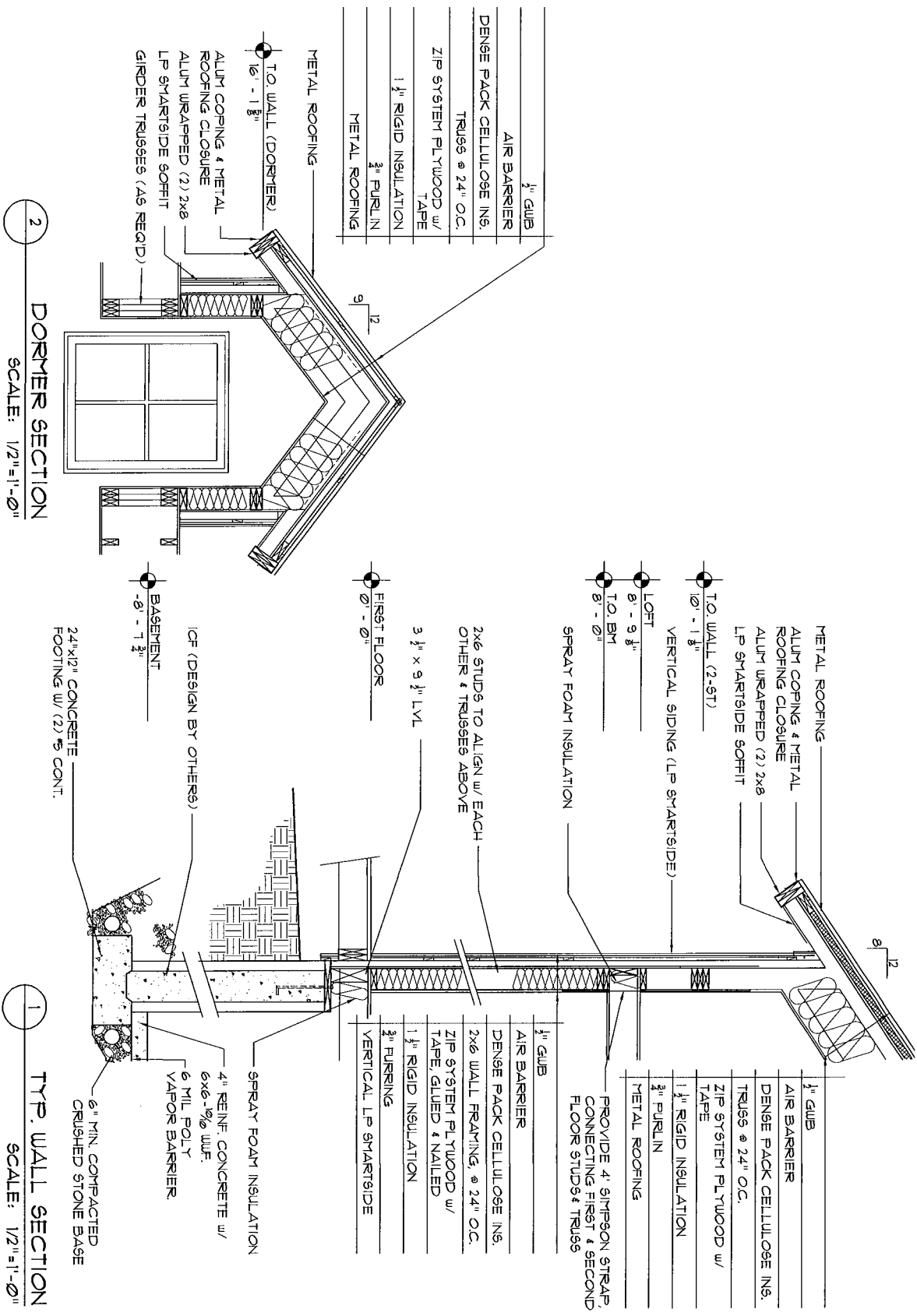
DATE: 9-17-17

**BASEMENT PLAN**

DRAWING TITLE:

SHEET NO:

PROJECT NO: 17-001



2 DORMER SECTION  
SCALE: 1/2" = 1'-0"

1 TYP. WALL SECTION  
SCALE: 1/2" = 1'-0"

SHEET NO: 	DATE: 9-17-17	REVISED:	<b>CAPEZZUTO RESIDENCE</b>		<b>CULLUM ARCHITECTURE &amp; DESIGN</b> 41 HICKORY STREET ROCHESTER, NEW YORK 14620 STEVE@CULLUMARCH.COM 585.484.0686
			DRAWING TITLE: SECTIONS & DETAILS		
PROJECT NO: 17-001					

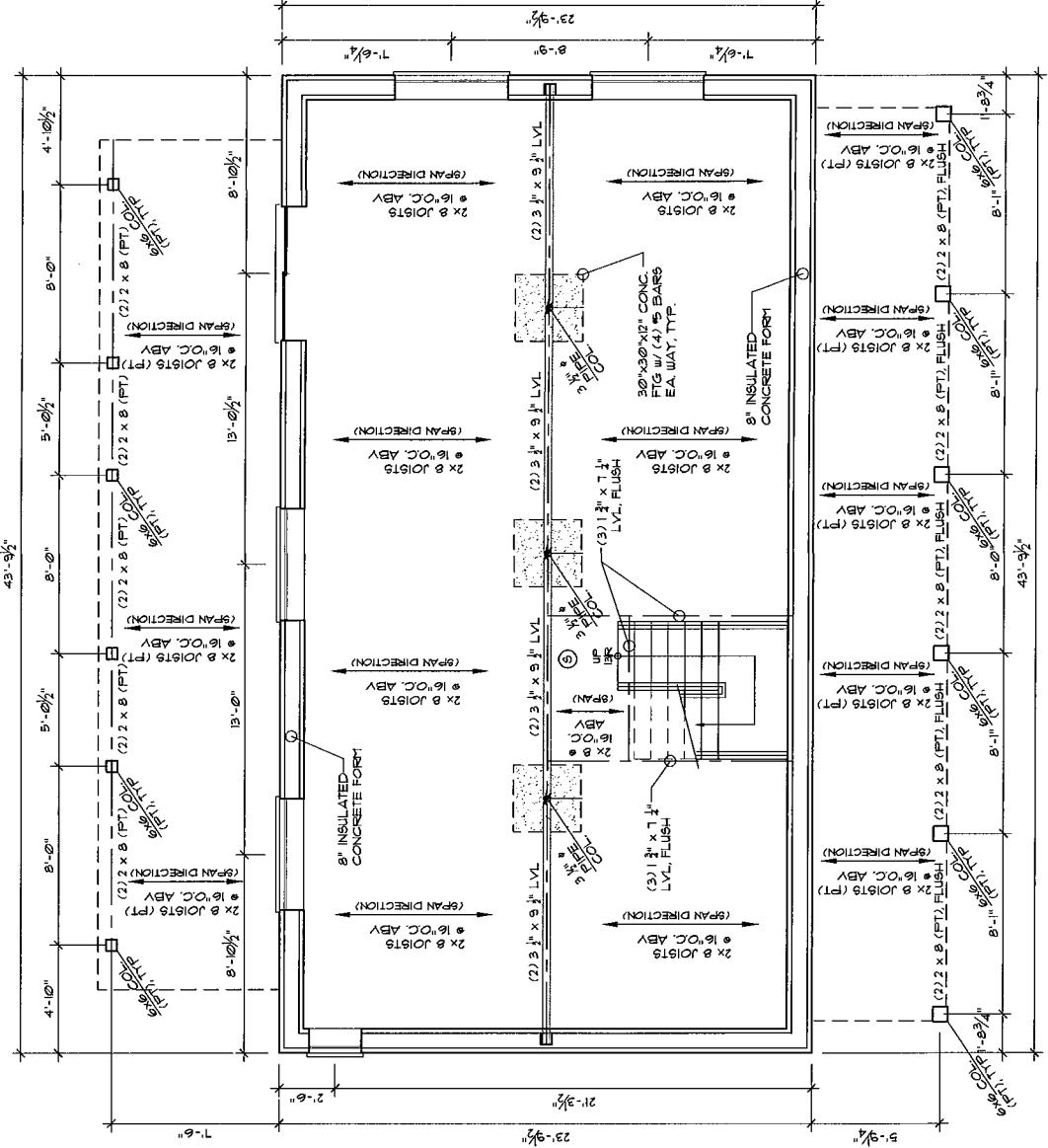
FINAL LOCATION OF SUMP PIT ( AND QUANTITIES ) TO BE DETERMINED IN FIELD.

FINAL LOCATION OF MECHANICAL SYSTEMS TO BE PROVIDED BY GC.

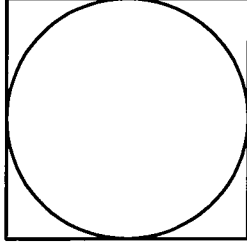
FULL FOUNDATION WATERPROOFING AND PROTECTION BOARD SHALL BE PROVIDED - WITH FINAL MANUFACTURE & SYSTEM TO BE REVIEWED WITH OWNER.

COORDINATE WITH SITE WORK DRAWINGS FOR STORM COLLECTION PIPING AND SITE DRAINS ( FRENCH DRAINS ) ETC.

FINAL FOUNDATION DESIGN AND LAYOUT SHALL BE COORDINATED WITH 'INSULATED CONCRETE FORMS' ENGINEER- DRAWINGS SHALL BE SUBMITTED FOR REVIEW.



NORTH  
 1 BASEMENT PLAN  
 SCALE: 3/16" = 1'-0"



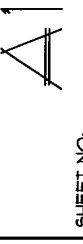
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 STEVE@CULLUMARCH.COM  
 585.484.0686

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 RESIDENCE  
 60DUS, NEW YORK

REVISED:

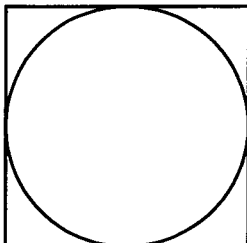
DATE: 9-17-17

**BASEMENT**  
**PLAN**  
 DRAWING TITLE:



SHEET NO:

PROJECT NO: 17-001



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 STEVE@CULLUMARCH.COM  
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REVISED:

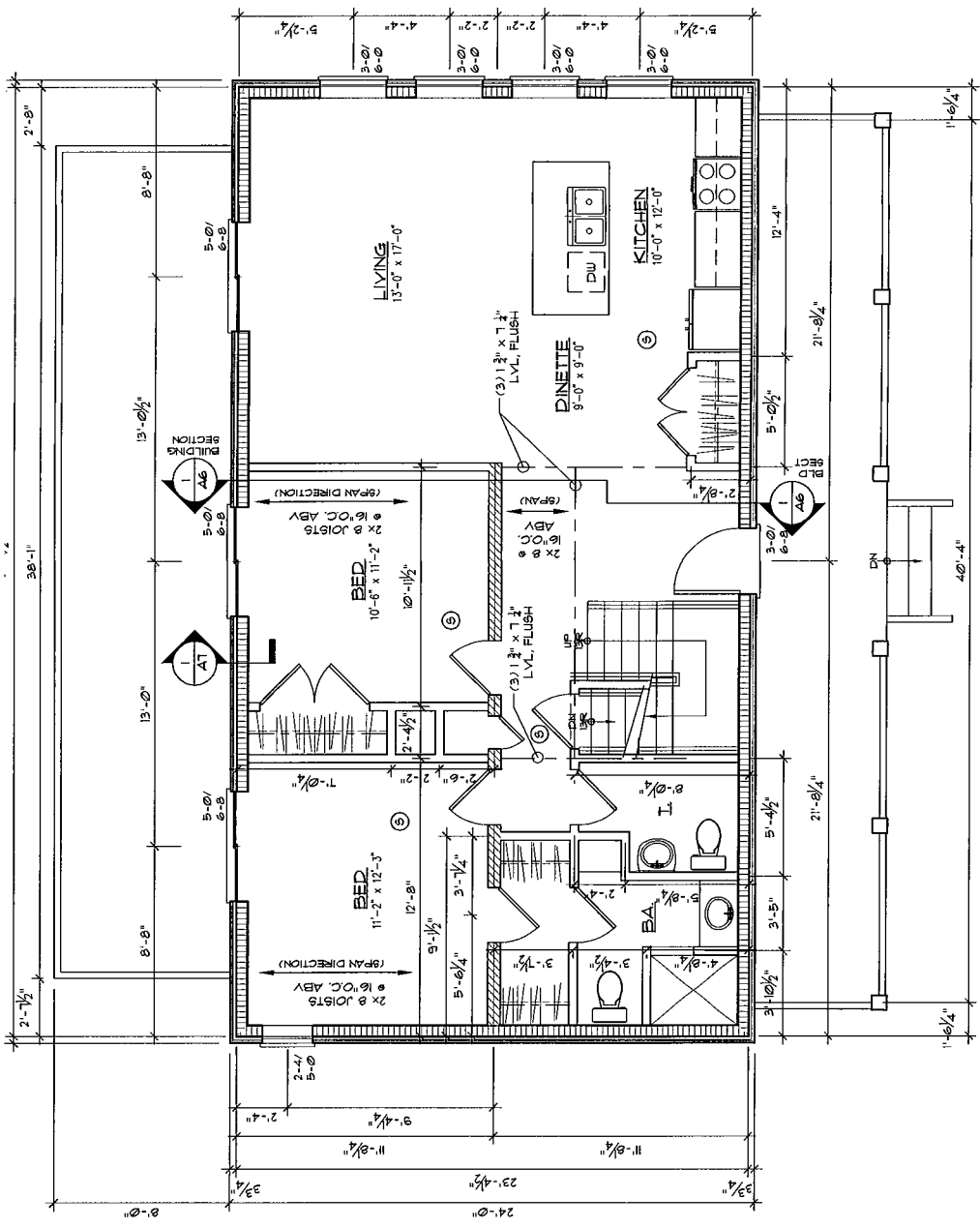
DATE: 9-17-17

FIRST FLOOR PLAN  
 DRAWING TITLE:

A2

SHEET NO:

PROJECT NO: 17-001



NORTH  
 1 FIRST FLOOR PLAN  
 SCALE: 3/16" = 1'-0"

- 2x6 STUD FRAMING @ 16" O.C.
- (2) 2x3 STUD FRAMING @ 16" O.C.
- 2x4 STUD FRAMING @ 16" O.C.

**UNLESS NOTED OTHERWISE:**

FIRST FLOOR TOP PLATE @ 8" x 1 1/2"

SMOKE DETECTORS: HARDWIRED PER CODE w/ FINAL LOCATIONS TO BE VERIFIED BY GC AND ELECTRICIAN. AT ALL FLOORS.

WINDOW UNIT SELECTION AND SIZES ARE BASED ON "PELLA" PREFERRED. SIZES AS INDICATED ON PLAN. HEAD HEIGHT = 6'-8" UNO.

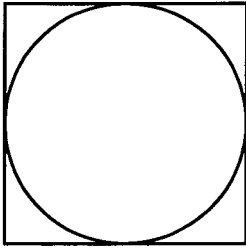
PATIO DOORS BASED ON "PELLA" ARCHITECT SERIES.

STAIR TO LOFT: WOOD FRAME STAIR ASSEMBLY. (3 1/2" TREAD, 8 1/2" MAX RISER).

STAIR TO BASEMENT: WOOD FRAME STAIR ASSEMBLY. (3" TREAD, 8 1/2" MAX RISER).

1/2" x HANDRAILS @ 36" ABOVE LINE OF NOSING. GUARD RAIL PANELS @ 36" ABOVE FINISH FLOOR OR LANDINGS.

FINAL FINISH DESIGN TO BE DETERMINED BY CLIENT. SEE REFERENCE PLANS FOR DIMENSIONAL INFORMATION.



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RESIDENCE  
GODUS, NEW YORK

REVISED:

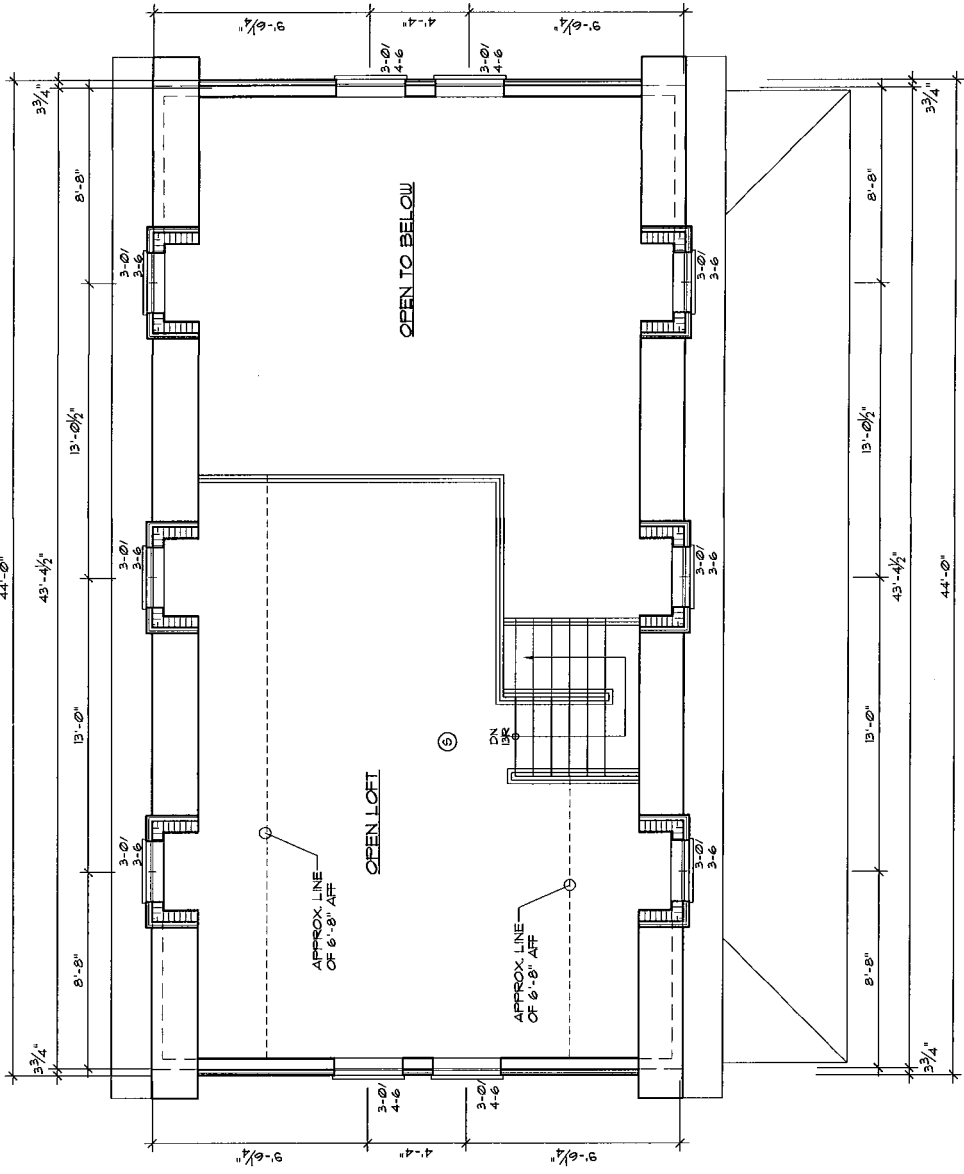
DATE: 9-17-17

LOFT  
PLAN

DRAWING TITLE:  
**A3**

SHEET NO:

PROJECT NO: 17-001



NORTH  
LOFT PLAN  
SCALE: 3/16" = 1'-0"

**LEGEND**

- 2x6 STUD FRAMING @ 16" O.C.
- (2) 2x3 STUD FRAMING @ 16" O.C.
- 2x4 STUD FRAMING @ 16" O.C.

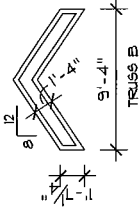
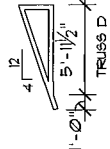
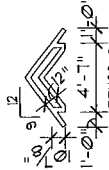
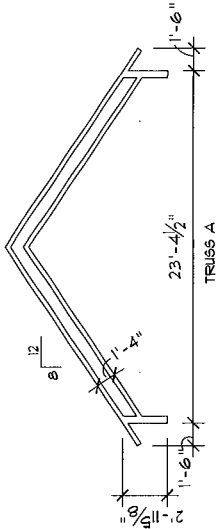
**UNLESS NOTED OTHERWISE:**

- FIRST FLOOR TOP PLATE @ 8" x 1 1/2"
- SMOKE DETECTORS: HARDWIRED PER CODE/PERMANENT LOCATIONS PER ELECTRICAL CONTRACTOR. ELECTRICIAN AT ALL FLOORS.
- WINDOW UNIT SELECTION AND SIZES ARE BASED ON 'FELLA IMPERIAL' SIZES AS INDICATED ON PLAN. HEAD HEIGHT = 6'-8" UNO.
- PATIO DOORS BASED ON 'FELLA ARCHITECT SERIES'.
- STAIR TO LOFT: WOOD FRAME STAIR ASSEMBLY. (9 1/2" TREAD, 8 1/4" MAX RISER).
- STAIR TO BASEMENT: WOOD FRAME STAIR ASSEMBLY. (9" TREAD, 8 1/4" MAX RISER).
- 1/2" @ HANDRAILS @ 26" ABOVE LINE OF NOSING. GUARD RAIL PANELS @ 136" MAX. FINISH RAILING DESIGN TO BE SELECTED BY OWNER. (REFERENCE PLANS FOR DIMENSIONAL INFORMATION).

1. PROVIDE MIN. 5'-0" WIDE ICE & WATER SHIELD AT EAVES AND VALLEYS.
2. PROVIDE UNDERLAYMENT IN ACCORDANCE WITH METAL ROOFING MANUFACTURERS RECOMMENDATIONS.
3. PROVIDE ALUM. FASCIA, DRIP EDGE.

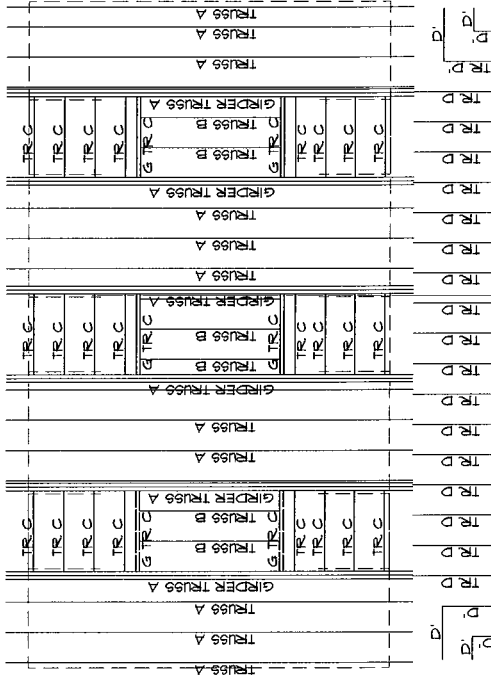
NOTE:

- FIRE-ENGINEERED WOOD TRUSS SYSTEM SHALL BE DESIGNED BY A NY'S LICENSED ARCHITECT OR ENGINEER FOR THE FOLLOWING LOADS:
- TOP CHORD LL: 160'
- TOP CHORD DL: 100'
- BOTTOM CHORD DL: 120'
- TOTAL LOAD: 600'
- ALL TRUSSES TO BE 2'-0" O.C.
- CONTRACTOR TO SUBMIT ENGINEERED, STAMPED SHOP DRAWINGS FOR REVIEW
- ROOF TRUSSES TO BE INSTALLED USING SIMPSON HURRICANE TIES, TYPE H8.
- TRUSSES TO ALIGN WITH STUDS BELOW.



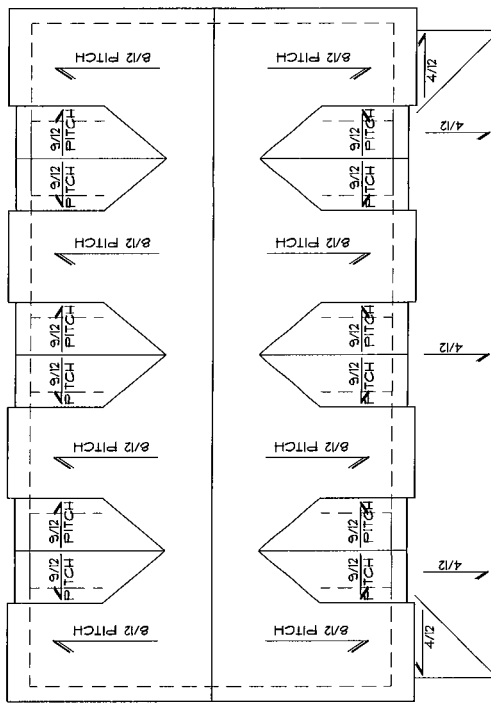
TRUSS PROFILES  
SCALE: 1/8"=1'-0"

3



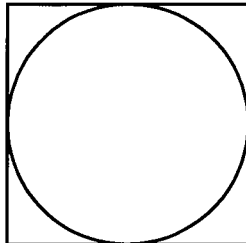
TRUSS PLAN  
SCALE: 1/8"=1'-0"

2



ROOF PLAN  
SCALE: 1/8"=1'-0"

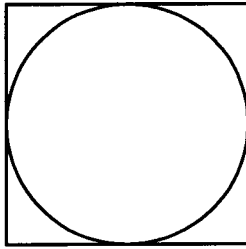
1



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60DUG, NEW YORK

REVISED:	DATE:	9-17-17
DRAWING TITLE: ROOF PLAN		
SHEET NO.: 17-001		
PROJECT NO.: 17-001		



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REVISED:

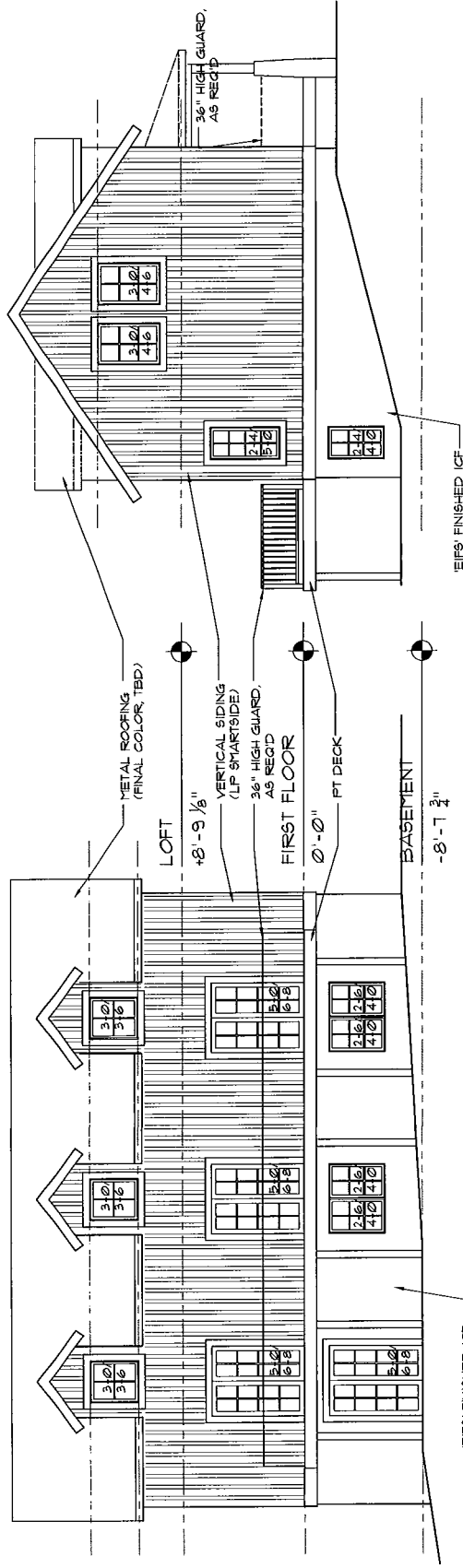
DATE: 9-17-17

ELEVATIONS  
 DRAWING TITLE:

AS

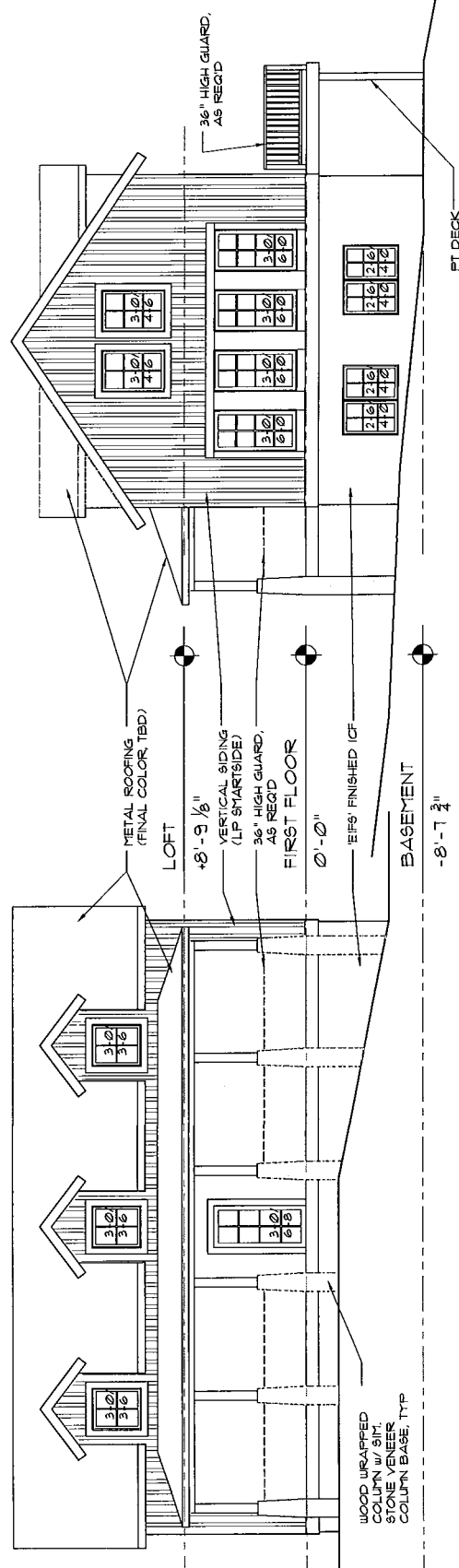
SHEET NO:

PROJECT NO: 17-001



1 EAST ELEVATION  
 SCALE: 1/8"=1'-0"

2 SOUTH ELEVATION  
 SCALE: 1/8"=1'-0"

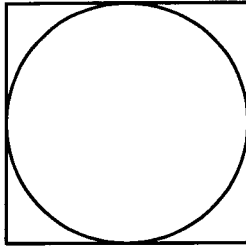


1 EAST ELEVATION  
 SCALE: 1/8"=1'-0"

2 SOUTH ELEVATION  
 SCALE: 1/8"=1'-0"

WOOD UNWRAPPED  
 COLUMN w/ SILL  
 STONE VENEER  
 COLUMN BASE, TYP





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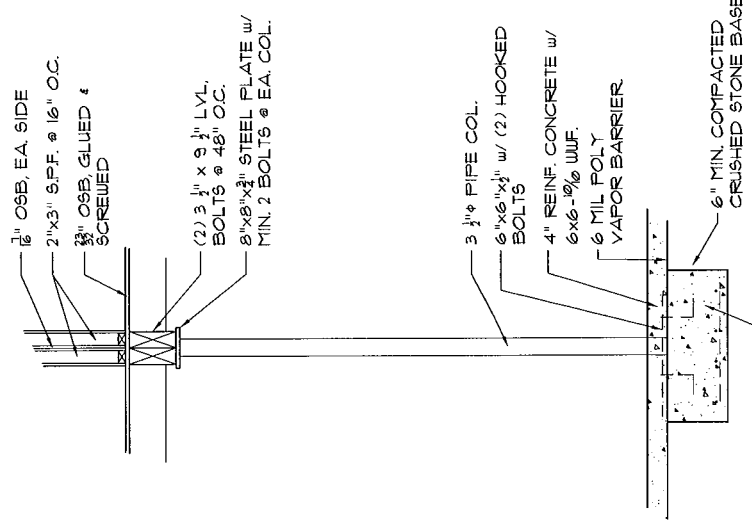
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SECTIONS & DETAILS  
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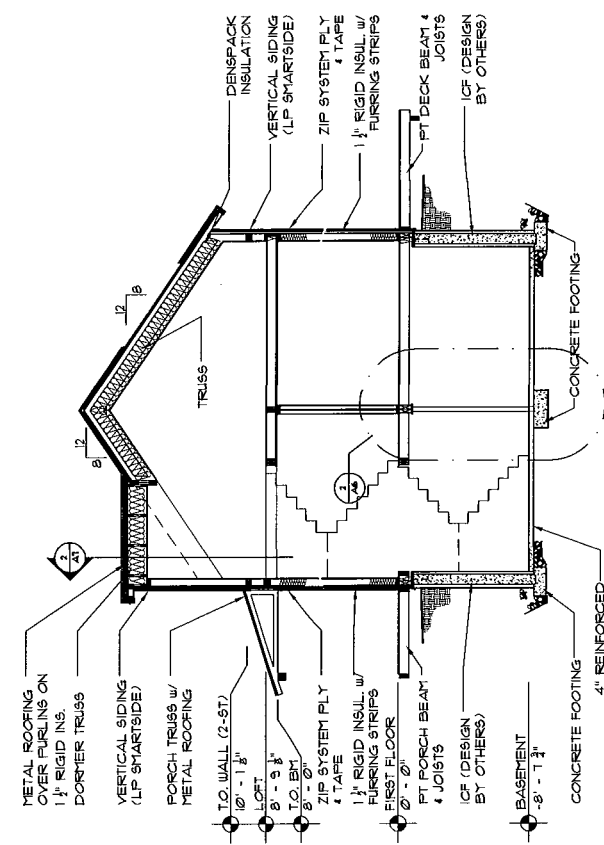
**AS**

SHEET NO:

PROJECT NO: 11-001



**2 SECTION DETAIL**  
 SCALE: 1/2" = 1'-0"



**1 BUILDING SECTION**  
 SCALE: 1/8" = 1'-0"